



GREEN GIANT ARBOURVITAE



EMERALD ARBOURVITAE



FASTIGIATA HORNBEAM



AZALEA



LEATHERLEAF VIBURNUM

RESIDENCES PLANTS



LIRIOPE



BLUE MOPHEAD HYDRANGEA



VIRGINIA SWEETSPIRE



WINTERBERRY



SWEETBAY MAGNOLIA



LIMELIGHT HYDRANGEA



ABELIA



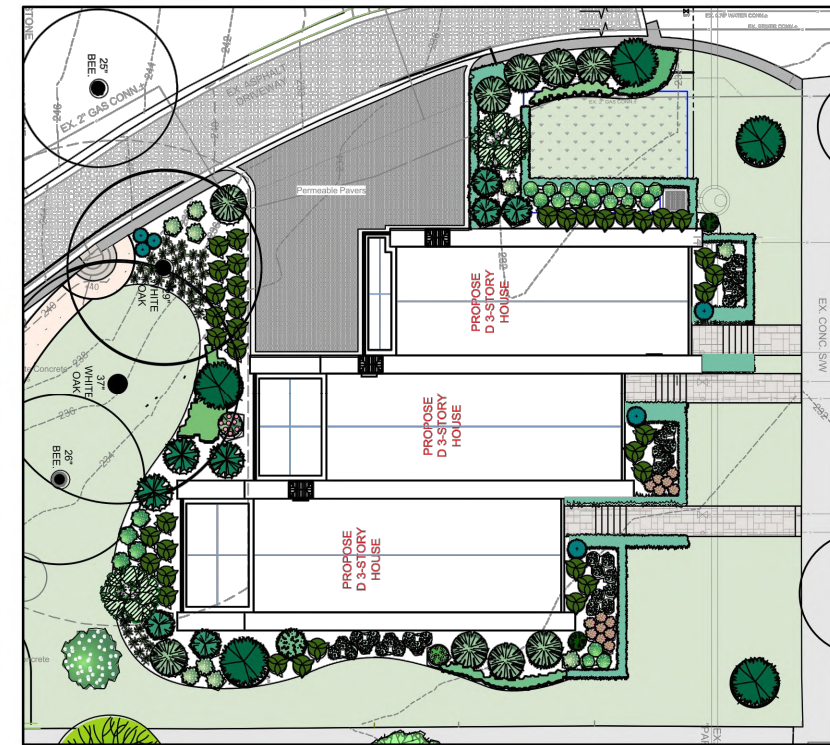
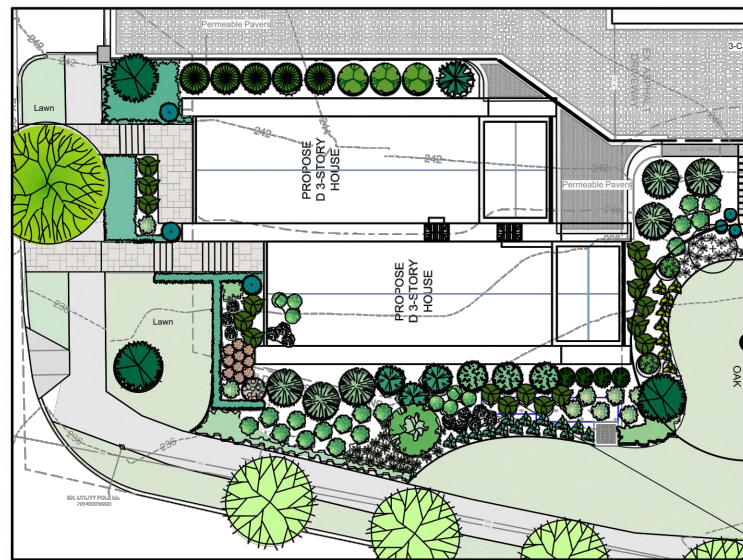
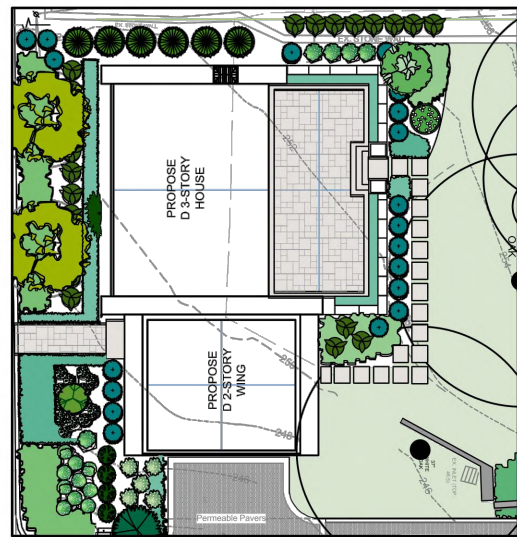
OTTO LUYKEN LAUREL



CAMELLIA



SOUTHERN MAGNOLIA



CHINESE DOGWOOD



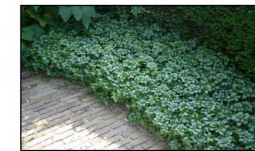
WOOD FERNS



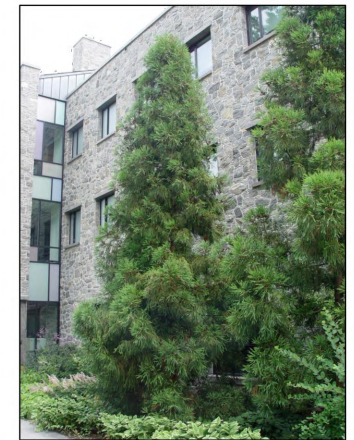
DOUBLEFILE VIBURNUM



NELLIE STEVENS HOLLY



PACHYSANDRA



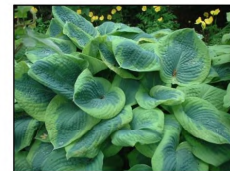
CRYPTOMERIA



SCHIP LAUREL



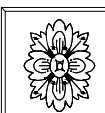
WINTER GEM BOXWOOD



FRANCES WILLIAMS HOSTA



GOLD STANDARD HOSTA



DCA Landscape Architects, Inc.
1315 Wisconsin Avenue, NW
Washington, D.C. 20007
202/337-1160 (tel.) 202/337-4630 (fax)

3101 ALBEMARLE STREET NW
WASHINGTON, DC 20008
SQUARE: 2041 LOTS: 22, 23

SOAPSTONE
VALLEY
VENTURES

CHRISTIAN ZAPATKA
ARCHITECT, PLLC

1656 33rd STREET NW
WASHINGTON DC 20007
202 333 2735



CAS Engineering-DC, LLC
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Washington, DC 20036
(202) 393-7200 phone
david@cas-dc.com

SUBMISSION:	DRAWING TITLE:	PAGE NUMBER:
DATE: NOVEMBER 17, 2017	PLANTING PLANS AND IMAGES: TOWNHOUSES AND SINGLE FAMILY RESIDENCES ZONING COMMISSION District of Columbia CASE NO.17-22 SCALE: 1/16" = 1'-0" EXHIBIT NO.217	L005

GENERAL CONSTRUCTION NOTES

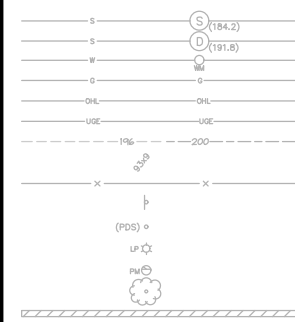
- TWO-FOOT CONTOUR DATA BASED ON A SURVEY PERFORMED BY CAS ENGINEERING, DATED JANUARY, 2017.
- BOUNDARY INFORMATION BASED ON A SURVEY PERFORMED BY CAS ENGINEERING, DATED JANUARY, 2017.
- ZONING: R-8 (FOREST HILLS TREE AND SLOPE PROTECTION OVERLAY)
MINIMUM LOT WIDTH = 75 FEET | MINIMUM LOT AREA = 7,500 SQUARE FEET
MAXIMUM BUILDING HEIGHT = 40 FEET / 3 STORIES
FRONT B.R.L. = 15 FEET ON PORTIONS OF 32ND STREET, NW
15 FEET ON PORTIONS OF APPLETON STREET, NW
(ALL PER THE RECORDS OF THE DC SURVEYORS OFFICE)
MINIMUM REAR YARD = 25 FEET
MINIMUM SIDE YARD = 8 FEET, 24 FEET AGGREGATE
MAXIMUM LOT OCCUPANCY = 30% | MINIMUM PERVIOUS SURFACE COVERAGE = 50%
FRONT SETBACK RANGE PER ZR16 PER 11D DCMR 505.1
- TOTAL LOT AREA: TOTAL = 47,626 SQUARE FEET (1.093 ACRES)
LOT 0022 = 24,835 SQUARE FEET (0.570 ACRES)
LOT 0023 = 22,791 SQUARE FEET (0.523 ACRES)
- PROPERTY MAY BE SUBJECT TO A RESTRICTIVE COVENANT REGARDING RESTRICTIONS ON INDUSTRIAL, COMMERCIAL PURPOSES AND RESIDENTIAL STRUCTURES. REFERENCE CASE No. 16-11-003/1859-16 GREEN BY UNITY TITLE SERVICES, LLC, TITLE REPORT RECORDED OBJECTION #9 OVER TAX LOT 840.
- FINAL GAS, TELEPHONE AND ELECTRIC ALIGNMENT SUBJECT TO UTILITY COMPANY APPROVAL.
- EX. WATER AND SEWER LINES TO BE "TEST -PITTED" PRIOR TO CONSTRUCTION. PROPOSED WATER AND SEWER TO BE ADJUSTED IN LINE AND GRADE ACCORDINGLY.
- ANY NECESSARY TREE PROTECTION MEASURES, FOR ON-SITE OR OFF-SITE TREES, ARE TO BE ADDRESSED BY OTHERS.
- THE CONTRACTOR SHALL HAND DIG TEST PITS AT ALL UTILITY CROSSINGS AND CONNECTING POINTS TO DETERMINE THE EXACT LOCATION AND DEPTH WELL IN ADVANCE OF CONSTRUCTION.
- D.C. STANDARD DETAILS WHERE SHOWN ARE FOR GENERAL INFORMATION ONLY. THE CONTRACTOR SHALL OBTAIN THE MOST CURRENT APPLICABLE D.C. DETAILS AND STANDARDS AND PERFORM CONSTRUCTION ACCORDINGLY.
- FOR FIELD LOCATION AND ABANDONMENT / REMOVAL OF GAS MAINS AND SERVICE CONNECTIONS, CONTRACTOR SHALL NOTIFY WASHINGTON GAS LIGHT COMPANY, (703) 750-1000, 72 HOURS PRIOR TO THE START OF ANY EXCAVATION OR CONSTRUCTION.
- CONTRACTOR SHALL CONTACT MISS UTILITY, 1-800-257-7777, 48 HOURS PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR SHALL CONTACT DEPARTMENT OF PUBLIC WORKS - PUBLIC SPACE MAINTENANCE ADMINISTRATION, 48 HOURS PRIOR TO START OF CONSTRUCTION, AT (202) 645-7050.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING, REPLACING AND/OR RESTORING ANY AND ALL UTILITY SERVICE CONNECTIONS DISTURBED DURING CONSTRUCTION.
- CONTRACTOR IS TO VERIFY FIELD CONDITIONS PRIOR TO AND DURING CONSTRUCTION AND NOTIFY CAS ENGINEERING AT (301) 607-8031 IMMEDIATELY OF ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE APPROVED PLANS.
- CONTRACTOR TO PATCH ROADWAY (PAVEMENT/ASPHALT) AT ALL LOCATIONS WHERE UTILITY WORK OCCURS. CONTRACTOR TO MILL AND OVERLAY ASPHALT AS NECESSARY OR REQUIRED BY DDOT.
- THE CONTRACTOR SHALL PERFORM ALL CONSTRUCTION IN PUBLIC SPACE IN ACCORDANCE WITH D.C. DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAYS AND STRUCTURES, LATEST EDITION. THE CONTRACTOR SHALL OBTAIN SAID SPECIFICATIONS.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO PROCEEDING WITH DEMOLITION OF EXISTING IMPROVEMENTS.
- THE CONTRACTOR SHALL VERIFY THE ACTIVE/INACTIVE STATUS OF ANY EXISTING UTILITIES ENCOUNTERED ON SITE AND ABANDON OR RELOCATE AS APPROPRIATE. ABANDONMENT SHALL BE IN ACCORDANCE WITH DC WATER STANDARDS AND DETAILS.

SITE CONSTRUCTION NOTES

- PROPOSED UTILITY LOCATIONS SUBJECT TO FIELD MODIFICATION AND UTILITY COMPANY APPROVAL.
- CONTRACTOR TO ADJUST ALL EXISTING UTILITY TOPS (I.E. CLEANOUTS, MANHOLES, VALVE COVERS, ETC.) TO FINAL GRADE WHERE NECESSARY.
- CONTRACTOR TO COORDINATE ABANDONMENT OF ALL EXISTING UTILITIES AS NECESSARY.
- CONTRACTOR TO COORDINATE ON-SITE UTILITY CROSSINGS TO ENSURE ADEQUATE SEPARATION AT INTERSECTIONS.
- TEST PIT ALL UTILITY CROSSINGS PRIOR TO START OF CONSTRUCTION, ANY FIELD MODIFICATION TO BE COORDINATED WITH APPROPRIATE UTILITY AND/OR DC INSPECTOR.
- PROPOSED RETAINING WALLS SHOWN ARE TO BE DESIGNED BY OTHERS, TYPICAL.
- FOR FINAL LANDSCAPE/HARDSCAPE DETAILS, SPECIFICATIONS, ELEVATIONS, AND DIMENSIONS SEE LANDSCAPE PLANS, POOL PLANS, OR ARCHITECTURAL PLANS, AS APPROPRIATE.
- FOR TREE PROTECTION MEASURES SEE PLANS AND REPORTS BY OTHERS AS APPLICABLE.
- CONTRACTOR TO MAINTAIN DRAINAGE FACILITIES ON AND THROUGH THE SITE AT ALL TIMES DURING CONSTRUCTION. UTILIZE TEMPORARY FACILITIES/FEATURES AND/OR CONNECTIONS AS NECESSARY TO MAINTAIN POSITIVE DRAINAGE.
- CONTRACTOR TO COMPLETE SITE GRADING AND PAVING TO ENSURE POSITIVE DRAINAGE TO ALL INLETS OR NATURAL DRAINAGE COURSES TO PREVENT PONDING AND THE CREATION OF LOW SPOTS.
- CONTRACTOR TO REVIEW TIE IN POINTS WITH EXISTING PAVING AND GRADING WHERE PROPOSED ON AND ADJACENT TO PROJECT SITE, ADJUST WITH TRANSITIONS AND COORDINATE WITH CAS ENGINEERING AS APPROPRIATE.
- CONTRACTOR RESPONSIBLE FOR ENSURING THAT ROUTES MEET AMERICANS WITH DISABILITIES ACT (ADA) REQUIREMENTS, WHERE REQUIRED/APPLICABLE, 5% MAXIMUM SLOPE, 2% MAXIMUM CROSS SLOPE. CONTRACTOR ALSO RESPONSIBLE FOR ENSURING THAT RAMPS MEET ADA REQUIREMENTS, WHERE REQUIRED/APPLICABLE, 8.3% MAXIMUM SLOPE AND 2% MAXIMUM CROSS SLOPE.
- CONTRACTOR TO MAINTAIN FIRE DEPARTMENT AND EMERGENCY ACCESS ROUTES TO SITE AND TO APPLICABLE APPURTENANCES (I.E. FIRE HYDRANTS) DURING CONSTRUCTION UNLESS PRIOR APPROVAL IS OBTAINED FROM APPROPRIATE DISTRICT AGENCIES.

LEGEND

EXISTING FEATURES



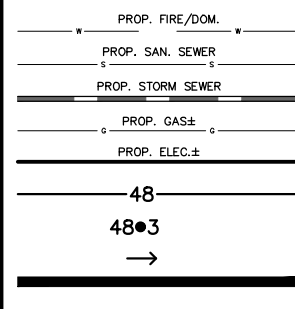
- EX. SANITARY MANHOLE AND INVERT
- EX. STORM MANHOLE AND INVERT
- EX. WATER LINE WITH WATER METER
- EX. GAS LINE
- EX. OVERHEAD UTILITY WITH POLE
- EX. UNDERGROUND UTILITY LINE
- EX. TWO- AND TEN-FOOT CONTOURS
- EX. SPOT ELEVATION
- EX. METAL FENCE
- EX. SIGN
- EX. DOWNSPOUT (PDS - PIPED)
- EX. LIGHT POLE
- EX. PARKING METER
- EX. TREE
- EX. WALL

EXISTING BUILDING/STRUCTURE

PROPERTY LINE

EX. FEATURE TO BE REMOVED

PROPOSED FEATURES



PROP. WATER CONNECTION

PROP. SANITARY SEWER CONNECTION

PROP. STORM SEWER CONNECTION

PROP. GAS CONNECTION

PROP. ELECTRIC CONNECTION

PROP. CONTOUR WITH ELEVATION

PROP. SPOT ELEVATION

PROP. DRAINAGE PATH

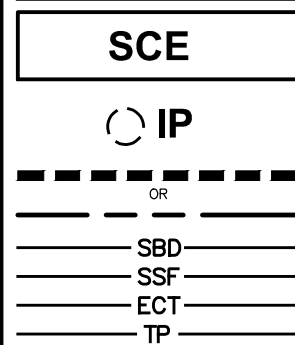
PROP. BUILDING (FOUNDATION WALL)

PROP. BUILDING (ABOVE GRADE WALL)

PROPOSED BUILDING (ABOVE GRADE) (INCLUDING BUILDINGS TO REMAIN)

PROPOSED DRAINAGE AREA

SEDIMENT CONTROL FEATURES



STABILIZED CONSTRUCTION ENTRANCE

INLET PROTECTION

LIMITS OF DISTURBANCE

STRAW BALE, OR EROSION CONTROL TUBE, OR SUPER SILT FENCE, OR TREE PROTECTION FENCING

ABBREVIATIONS LIST

(FOR REFERENCE ONLY, NOT ALL ARE USED WITHIN THIS PLAN SET)

A	AREA OF ARC	F	FIRE LINE	R	RADIUS OR PER RECORD
AASHTO	AMERICAN ASSOCIATION OF STATE HIGHWAY & TRANSPORTATION OFFICIALS	FAR	FLOOR AREA RATION	RCR	REINFORCED CONCRETE PIPE
AC	ACRE	FC	FACE OF CURB	RD	ROAD OR ROOF DRAIN
ADJ	ADJACENT	FD	FLOOR DRAIN	REF	REQUIRED
AGOR	AGGREGATE	FF	FIRST FLOOR	RET	RETAINING
AHD	AHEAD	FG	FINISHED GRADE	REV	REVISION
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	FH	FIRE HYDRANT	RGP	ROUGH GRADING PLAN
APPROX	APPROXIMATE	FL	FLOW LINE	RMA	RESOURCE MANAGEMENT AREA
ARCH	ARCHITECTURAL	FO	FOUNDATION	ROM	REMOTE OUTSIDE MONITOR
ASPH	ASPHALT	FOY	FOYER	RPA	RESOURCE PROTECTION AREA
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	FP	FLOOD PLAN	RR	RAIL ROAD
AVE	AVENUE	FS	FEET PER SECOND	RT	RIGHT
AWWA	AMERICAN WATER WORKS ASSOCIATION	FT	FOOT OR FEET	RTE	ROUTE
B	BREADTH	G	GAS	R/W	RIGHT OF WAY
BC	BACK OF CURB	GAR	GARAGE	S	SOUTH OR SEWER OR SPEED OR SLOPE
BF	BASEMENT FLOOR	GFA	GROSS FLOOR AREA	SAN	SANITARY
BLDG	BUILDING	GHC	GAS HOUSE CONNECTION	SBL	SOUTH BOUND LANE
BLVD	BOULEVARD	GR	GUARD RAIL OR GRATE	SCH	SCHEDULE
BM	BENCHMARK	GV	GAS VALVE	SD	SIGHT DISTANCE OR STORM DRAIN
BMP	BEST MANAGEMENT PRACTICES (WATER QUALITY)	H	HEAD	SDMH	STORM DRAIN MANHOLE
BOV	BLOW OFF VALVE	HC	HANDICAP	SE	SOUTH/EAST
BRG	BEARING	HB	HORIZONTAL BEND	SEC	SECTION
BRL	BUILDING RESTRICTION LINE	HGL	HYDRAULIC GRADE LINE	SECT	SECTION
BVCE	BEGINNING VERTICAL CURVE ELEVATION	HORZ	HORIZONTAL	SEW	SEWER
BVCS	BEGINNING VERTICAL CURVE STATION	HP	HIGH POINT	SH	SHOULDER
BW	BOTTOM OF WALL	HR	HAND RAIL	SHC	SEWER HOUSE CONNECTION
C	CURB	HT	HEIGHT	SMH	SEWER MANHOLE
C#	CENTER CORRECTION ON VERTICAL CURVE	HW	HEADWATER	SP	SPACE OR SITE PLAN
C#	CENTER CORRECTION ON VERTICAL CURVE	I	INTENSITY, RAINFALL	SPEC	SPECIFICATIONS
C#	CURB AND GUTTER	ID	INSIDE DIAMETER OR IDENTIFICATION	ST	STREET
C#	CURB AND GUTTER (REVERSE SLOPE)	IE	INVERT ELEVATION	STA	STATION
CH	CHORD	IN	INCH	STD	STANDARD
CHBRG	CHORD BEARING	INV	INVERT	STK	STACK
CP	CAST IRON PIPE OR CAST IN PLACE	IP	IRON PIPE	STR	STRUCTURE
CL	CENTER LINE	IPS	IRON PIPE SET	SVG	SERVICE
C/L	CENTER LINE	J	JUNCTION BOX	SW	SIDEWALK
C#	CURB	JNT	JOINT	SWM	SOUTHWEST
C#	CURB	K	SIGHT DISTANCE COEFFICIENT	SWM	STORMWATER MANAGEMENT
C#	CURB	Ke	CULVERT ENTRANCE LOSS COEFFICIENT	Sx	CROSS SLOPE
CH	CHORD	L	LENGTH	SY	SQUARE YARD
CHRG	CHORD BEARING	LAT	LATERAL	T	TELEPHONE OR TANGENT
CI	CAST IRON PIPE OR CAST IN PLACE	LAT	LIMITS OF CLEARING & GRADING	TC	TOP OF CURB
CL	CENTER LINE	LF	LINEAR FEET	T.C.	TERRA COTTA
C/L	CENTER LINE	LL	LOWER LEVEL	Tc	TIME OF CONCENTRATION
C#	CURB	LOC	LOCATION	TEL	TELEPHONE
C#	CURB	LOS	LINE OF SIGHT	TEMP	TEMPORARY
C#	CURB	LP	LOW POINT OR LIGHT POLE	TH	TEST HOLE
C#	CURB	LS	LOADING SPACE	TL	TRAFFIC LIGHT
C#	CURB	L/S	LANDSCAPE AREA	TP	TEST PIT OR TREE PROTECTION
C#	CURB	LEFT	LEFT	TRANSP	TRANSPORTATION
C#	CURB	M	METER	TW	TOP OF WALL OR TAIL WATER
C#	CURB	MAP	MAPLE	TYP	TYPICAL
C#	CURB	MAX	MAXIMUM	U	UNKNOWN
C#	CURB	MAX	MAXIMUM	UG	UNDERGROUND
C#	CURB	MECH	MECHANICAL	UGT	UNDERGROUND ELECTRIC
C#	CURB	METRO	METROPOLITAN	UGT	UNDERGROUND TELEPHONE
C#	CURB	MILE	MILE	UP	UNDERGROUND CABLE
C#	CURB	MISC	MISCELLANEOUS	UP	UPPER LEVEL
C#	CURB	MIS	MISCELLANEOUS	UP	UTILITY POLE
C#	CURB	MIS	MISCELLANEOUS	USGS	US GEOLOGICAL SURVEY
C#	CURB	MIS	MISCELLANEOUS	V	VOLUME
C#	CURB	MIS	MISCELLANEOUS	V	VELOCITY
C#	CURB	MIS	MISCELLANEOUS	VA	VIRGINIA
C#	CURB	MIS	MISCELLANEOUS	VB	VERTICAL BEND
C#	CURB	MIS	MISCELLANEOUS	VC	VERTICAL CURVE
C#	CURB	MIS	MISCELLANEOUS	VDOT	VA DEPARTMENT OF TRANSPORTATION
C#	CURB	MIS	MISCELLANEOUS	VERT	VERTICAL
C#	CURB	MIS	MISCELLANEOUS	VERT	VERTICAL FOOT
C#	CURB	MIS	MISCELLANEOUS	W	WEST OR WATER OR WEIGHT OR WIDTH
C#	CURB	MIS	MISCELLANEOUS	W	WITH
C#	CURB	MIS	MISCELLANEOUS	WB	WEST BOUND LANE
C#	CURB	MIS	MISCELLANEOUS	WH	WATER HOUSE CONNECTION
C#	CURB	MIS	MISCELLANEOUS	WL	WATER LINE
C#	CURB	MIS	MISCELLANEOUS	WM	WATER METER
C#	CURB	MIS	MISCELLANEOUS	WQA	WATER QUALITY IMPACT ASSESSMENT
C#	CURB	MIS	MISCELLANEOUS	W/S	WRAPPED STEEL
C#	CURB	MIS	MISCELLANEOUS	WV	WATER VALVE
C#	CURB	MIS	MISCELLANEOUS	XROSS	CROSS SECTION
C#	CURB	MIS	MISCELLANEOUS	XF	TRANSFORMER
C#	CURB	MIS	MISCELLANEOUS	Y	YEAR
C#	CURB	MIS	MISCELLANEOUS	YR	YEAR
C#	CURB	MIS	MISCELLANEOUS	Z	SIDE SLOPES

CIVIL SHEET INDEX

- C.01 CIVIL LEGEND AND NOTES
- C.02 EXISTING CONDITIONS / SITE DEMOLITION PLAN
- C.03 SITE DEVELOPMENT PLAN
- C.04 GRADING PLAN
- C.05 STORMWATER MANAGEMENT PLAN
- C.06 EROSION AND SEDIMENT CONTROL PLAN
- C.07 UTILITY PLAN

STORM DRAIN NOTES

- ALL STORM DRAIN PIPE TO BE SCHEDULE 40 PVC OR OF HIGHER QUALITY.
- DOWNSPOUT LEADERS ORIGINATING DIRECTLY FROM DOWNSPOUTS TO BE 4" PVC (OR APPROVED EQUIVALENT), UNLESS INDICATED OTHERWISE ON PLAN.
- PROVIDE CLEANOUTS, AS SHOWN ON PLAN AT A MINIMUM, OR AS REQUIRED BY PLUMBING CODE.
- MAINTAIN MINIMUM 12" COVER OVER ALL PIPE.
- ALL STORM DRAIN UNDER DRIVEWAY OR PAVED AREAS TO BE BEDDED IN GRAVEL AND TO HAVE A MINIMUM OF 12" OF COVER, OR BE CAST IRON.
- PROPOSED STORM DRAIN PIPING TO BE AT 2.0% MINIMUM SLOPE, UNLESS OTHERWISE INDICATED. USE VERTICAL BENDS WHERE NECESSARY TO FOLLOW FINISHED GRADES.

UTILITY INFORMATION

EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND MUST BE FIELD VERIFIED. UTILITY LOCATIONS ARE BASED UPON AVAILABLE RECORDS AND ARE SHOWN TO THE BEST OF OUR ABILITY.

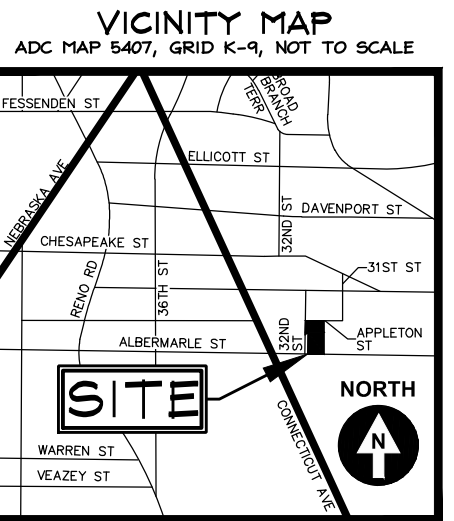
MISS UTILITY

FOR LOCATION OF UTILITIES, CALL "MISS UTILITY" AT 1-800-257-7777, OR LOG ON TO WWW.MISSUTILITY.NET/TIC 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL JURISDICTIONAL REQUIREMENTS.

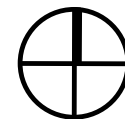
UTILITY GENERAL

NOTES (DC WATER)

CONTRACTOR TO REFER TO DC WATER GENERAL CONSTRUCTION NOTES, MOST RECENT VERSION FOR INFORMATION REGARDING DC WATER UTILITIES. NOTES ARE AVAILABLE AT www.dcwater.com/business/permits/DCWater_General_Construction_Notes.pdf



SOAPSTONE VALLEY VENTURES	CHRISTIAN ZAPATKA ARCHITECT, PLLC 1656 33rd STREET NW WASHINGTON DC 20007 202 333 2735		CAS Engineering-DC, LLC Attn: David C. Landsman, PE, Prof. LS 1001 Connecticut Avenue, NW, Suite 401 Washington, DC 20036 (202) 393-7200 phone david@cas-dc.com	DCA Landscape Architects, Inc. 1315 Wisconsin Avenue, NW Washington, D.C. 20007 202/337-1160 (tel.) 202/337-4630 (fax)		SUBMISSION:	DRAWING TITLE:	PAGE NUMBER:
						DATE: NOVEMBER 17, 2017	Civil Cover Sheet	C.01



SITE DEMOLITION NARRATIVE

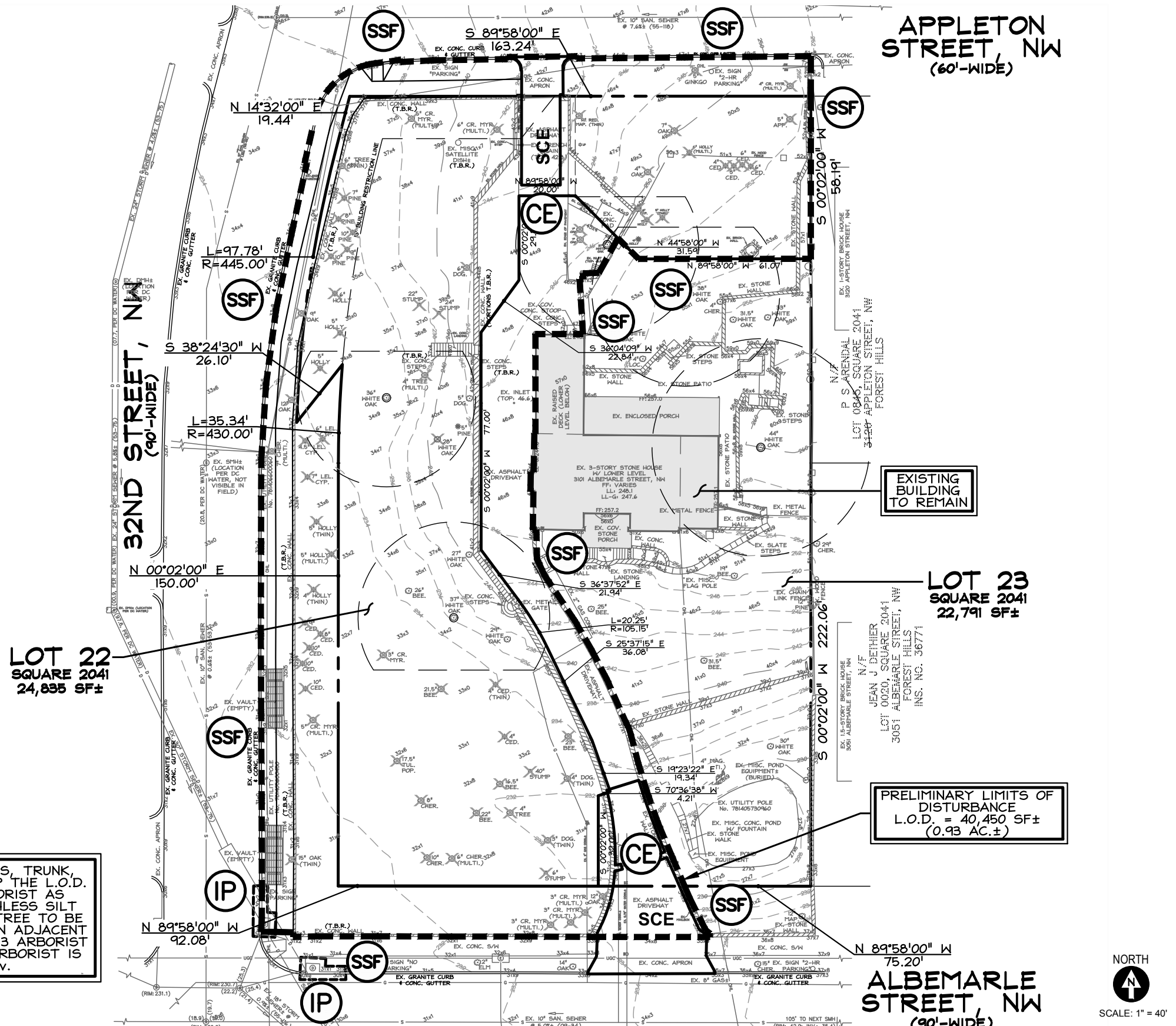
1) CONTRACTOR TO SECURE ALL NECESSARY PERMITS AND CONDUCT A PRE-CONSTRUCTION MEETING WITH THE SEDIMENT CONTROL INSPECTOR PRIOR TO THE START OF CONSTRUCTION OR ANY LAND DISTURBANCE. CALL 202-535-2240 TO SCHEDULE A PRE-CONSTRUCTION MEETING.

- A) INSTALL SEDIMENT CONTROL MEASURES.
- B) PROCEED WITH SELECTIVE DEMOLITION ACTIVITIES. DEMOLISH EXISTING STRUCTURES WITH APPROPRIATE EQUIPMENT.
- C) REMOVE DEBRIS FROM SITE BY TRUCK. TEMPORARILY STABILIZE ALL DISTURBED AREAS PER DC SEDIMENT CONTROL REQUIREMENTS.
- D) REMOVE SEDIMENT CONTROL DEVICES AFTER ENTIRE SITE IS STABILIZED AND PERMISSION IS RECEIVED FROM THE SEDIMENT CONTROL INSPECTOR. SOME SEDIMENT CONTROL MEASURES MAY BE RETAINED TO USE FOR FUTURE CONSTRUCTION AS APPLICABLE. COORDINATE WITH DC INSPECTOR.

LOT AREA TABULATION

EXISTING

LOT	AREA (SF)	AREA (AC.)
0022	24,835	0.570
0023	22,791	0.523
TOTAL	47,626	1.093



CONTRACTOR TO PROTECT TREES (BRANCHES, TRUNK, ROOTS) ON NEIGHBORING LOTS THAT OVERLAP THE L.O.D. COORDINATE WITH DDOT UFA WARD 3 ARBORIST AS APPLICABLE. CONTRACTOR TO USE A TRENCHLESS SILT FENCE METHOD WITHIN THE CANOPY OF ANY TREE TO BE PRESERVED (INCLUDING PROTECTING TREES ON ADJACENT PROPERTIES), COORDINATE WITH DDOT WARD 3 ARBORIST AS APPLICABLE. THE DDOT WARD 3 LEAD ARBORIST IS EVAN ANDERSON, evan.anderson@dc.gov.

EXISTING BUILDING TO REMAIN

PRELIMINARY LIMITS OF DISTURBANCE
L.O.D. = 40,450 SF±
(0.93 AC.±)

LOT 23
SQUARE 2041
22,791 SF±

N/F
JEAN J BETHIER
LOT 0020, SQUARE 3041
3051 ALBEMARLE STREET, NW
FOREST HILLS
INS. INC. 36771



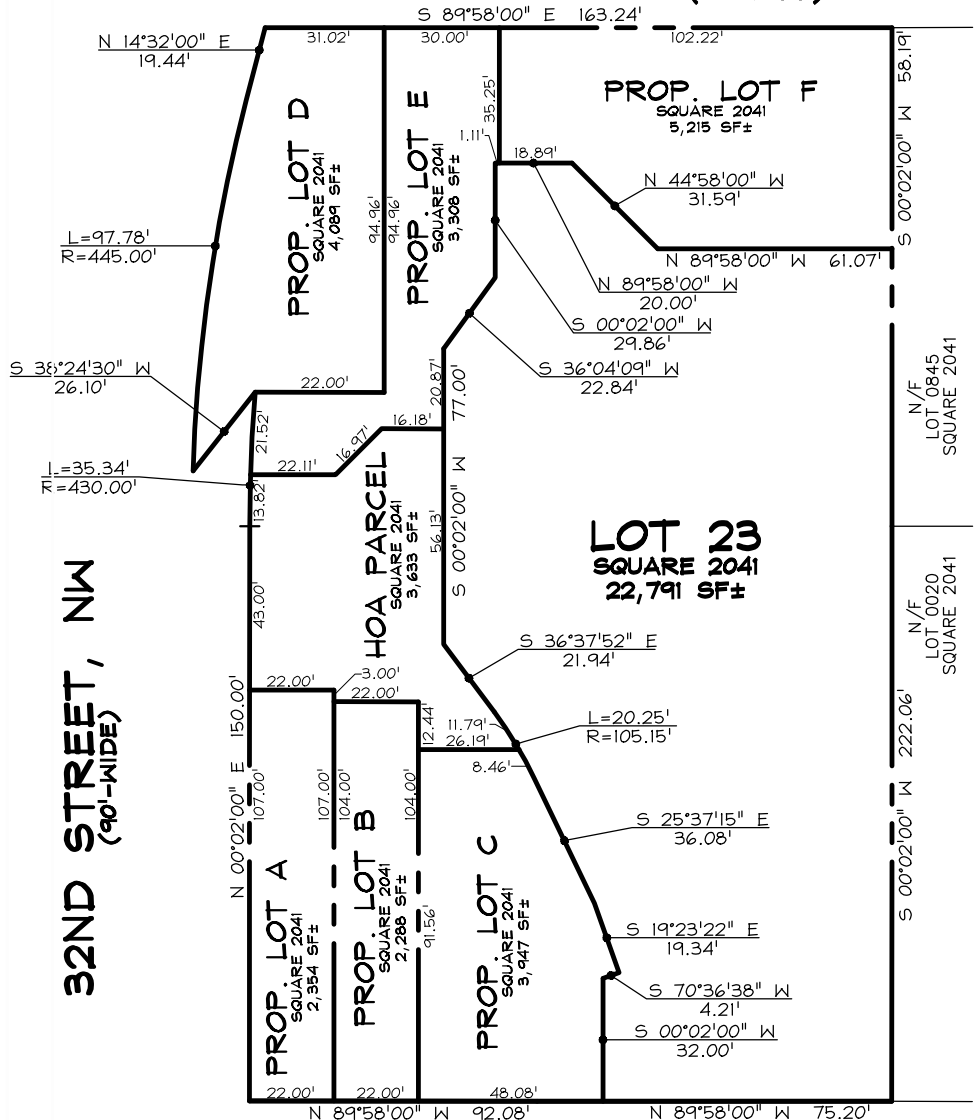
SCALE: 1" = 40'

SOAPSTONE VALLEY VENTURES CHRISTIAN ZAPATKA ARCHITECT, PLLC 1656 33rd STREET NW WASHINGTON DC 20007 202 333 2735	CAS Engineering-DC, LLC Attn: David C. Landsman, PE, Prof. LS 1001 Connecticut Avenue, NW, Suite 401 Washington, DC 20036 (202) 393-7200 phone david@cas-dc.com	DCA Landscape Architects, Inc. 1315 Wisconsin Avenue, NW Washington, D.C. 20007 202/337-1160 (tel.) 202/337-4630 (fax)	3101 ALBEMARLE ST, NW WASHINGTON D.C. 20008 SQ : 2041 LOT : 0022, 0023	SUBMISSION:	DRAWING TITLE: Existing Conditions/ Demolition Plan	PAGE NUMBER: C.02
				DATE: NOVEMBER 17, 2017	SCALE: 1" = 40"	

PROPOSED LOT LAYOUT AND TABULATION

SCALE: 1"=50'

APPLETON STREET, NW
(60'-WIDE)

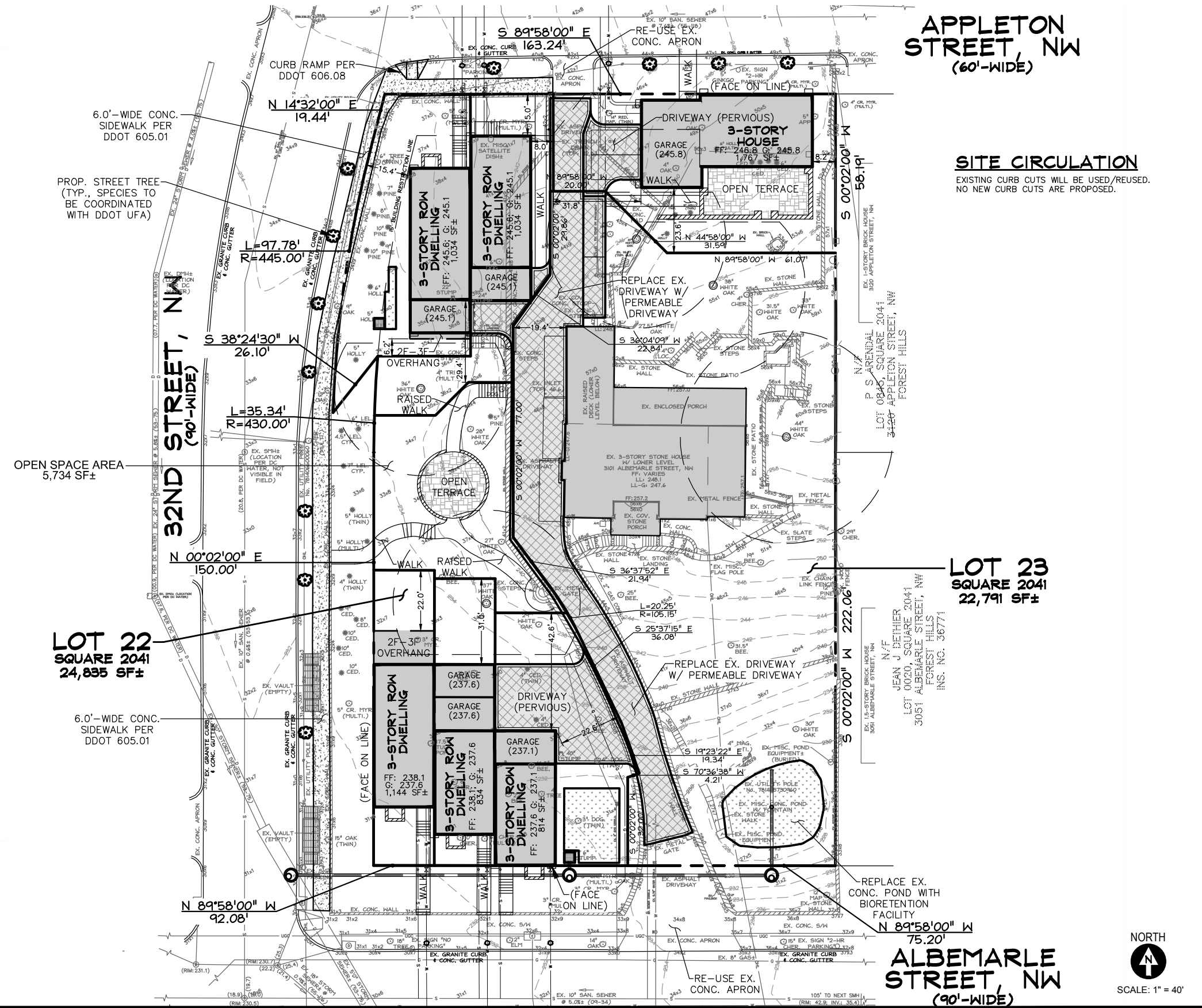


ALBEMARLE STREET, NW
(90'-WIDE)

LOT AREA TABULATION

Lot	Area (sf)	Area (ac)	Width (ft)	Coverage (sf)	Occupancy (%)	Classification
HOA Parcel	3,633	0.083	56.82	-	0.00%	n/a
A	2,354	0.054	22.00	1,409	59.87%	Semi-Detached
B	2,288	0.053	22.00	1,363	59.56%	Attached
C	3,947	0.091	48.08	1,079	27.33%	Semi-Detached
D	4,089	0.094	38.42	1,365	33.38%	Semi-Detached
E	3,308	0.076	30.00	1,321	39.94%	Semi-Detached
F	5,215	0.120	102.22	1,768	33.90%	Detached

APPLETON STREET, NW
(60'-WIDE)



SITE CIRCULATION

EXISTING CURB CUTS WILL BE USED/REUSED.
NO NEW CURB CUTS ARE PROPOSED.

LOT 23
SQUARE 2041
22,791 SF±

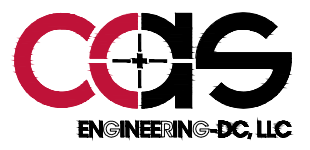
ALBEMARLE STREET, NW
(90'-WIDE)



SCALE: 1" = 40'

SOAPSTONE VALLEY VENTURES

CHRISTIAN ZAPATKA ARCHITECT, PLLC
1656 33rd STREET NW
WASHINGTON DC 20007
202 333 2735



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 **DCA Landscape Architects, Inc.**
1315 Wisconsin Avenue, NW
Washington, D.C. 20007
202/337-1160 (tel.) 202/337-4630 (fax)

3101 ALBEMARLE ST, NW
WASHINGTON D.C. 20008
SQ : 2041 LOT : 0022, 0023



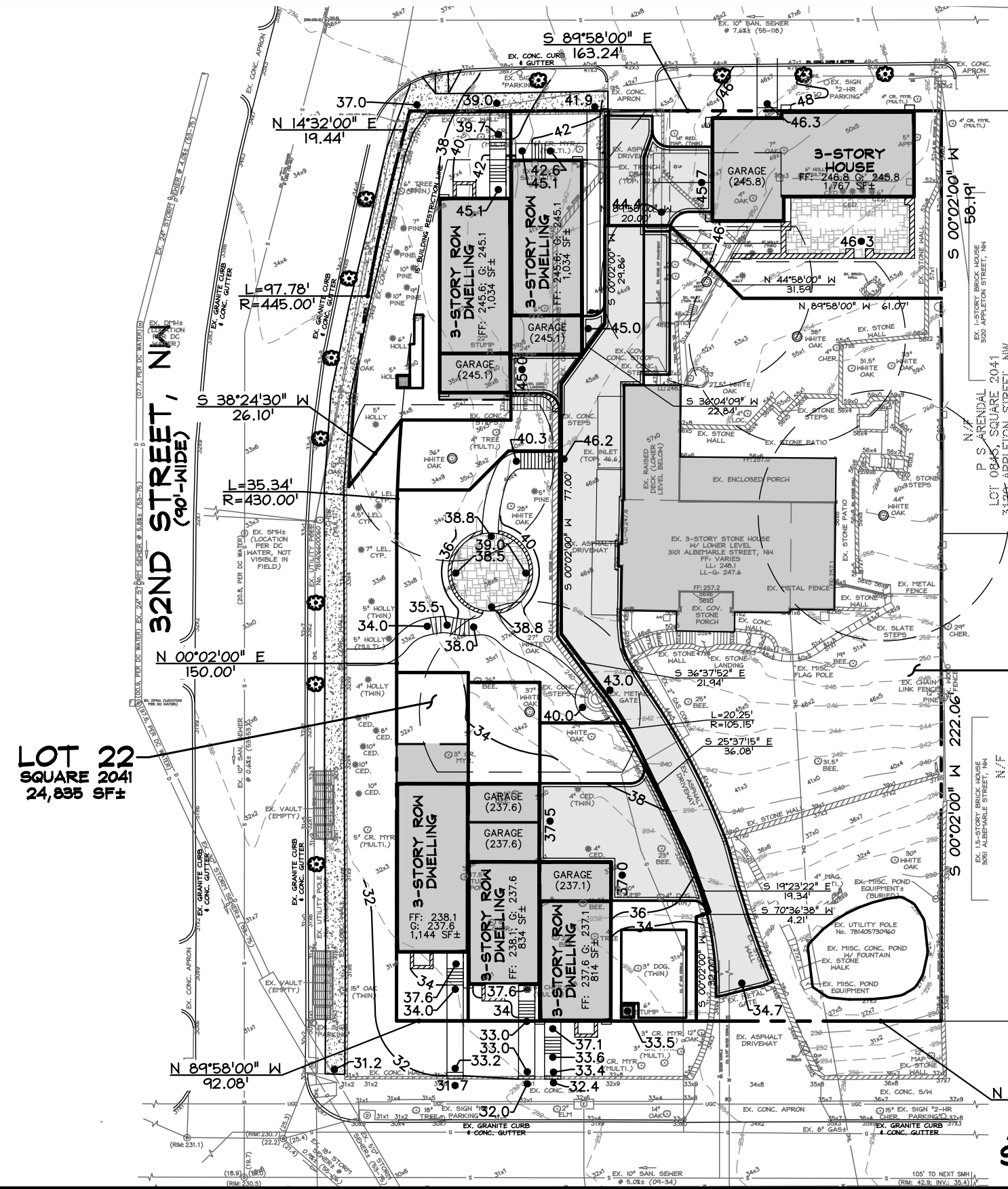
SUBMISSION:	DRAWING TITLE:	PAGE NUMBER:
	Site Development Plan	C.03

DATE: NOVEMBER 17, 2017

GRADING PLAN NOTES

- 1) GRADING SHOWN SUBJECT TO FINAL PATIO/LANDSCAPE DESIGN.
- 2) LANDSCAPE DESIGN PENDING FOR PUD SUBMITTAL.

APPLETON STREET, NW
(60'-WIDE)






LOT 22
SQUARE 2041
24,835 SF±

LOT 23
SQUARE 2041
22,791 SF±

ALBEMARLE STREET, NW
(90'-WIDE)



SCALE: 1" = 40'

<p>SOAPSTONE VALLEY VENTURES</p>	<p>CHRISTIAN ZAPATKA ARCHITECT, PLLC 1656 33rd STREET NW WASHINGTON DC 20007 202 333 2735</p>	 <p>CAS Engineering-DC, LLC Attn: David C. Landsman, PE, Prof. LS 1001 Connecticut Avenue, NW, Suite 401 Washington, DC 20036 (202) 393-7200 phone david@cas-dc.com</p>	 <p>DCA Landscape Architects, Inc. 1315 Wisconsin Avenue, NW Washington, D.C. 20007 202/337-1160 (tel.) 202/337-4630 (fax)</p>	<p>3101 ALBEMARLE ST, NW WASHINGTON D.C. 20008 SQ : 2041 LOT : 0022, 0023</p> 	<p>SUBMISSION:</p>	<p>DRAWING TITLE: Grading Plan</p>	<p>PAGE NUMBER: C.04</p>
<p>DATE: NOVEMBER 17, 2017</p>						<p>SCALE: 1" = 40"</p>	

STORMWATER MANAGEMENT NARRATIVE

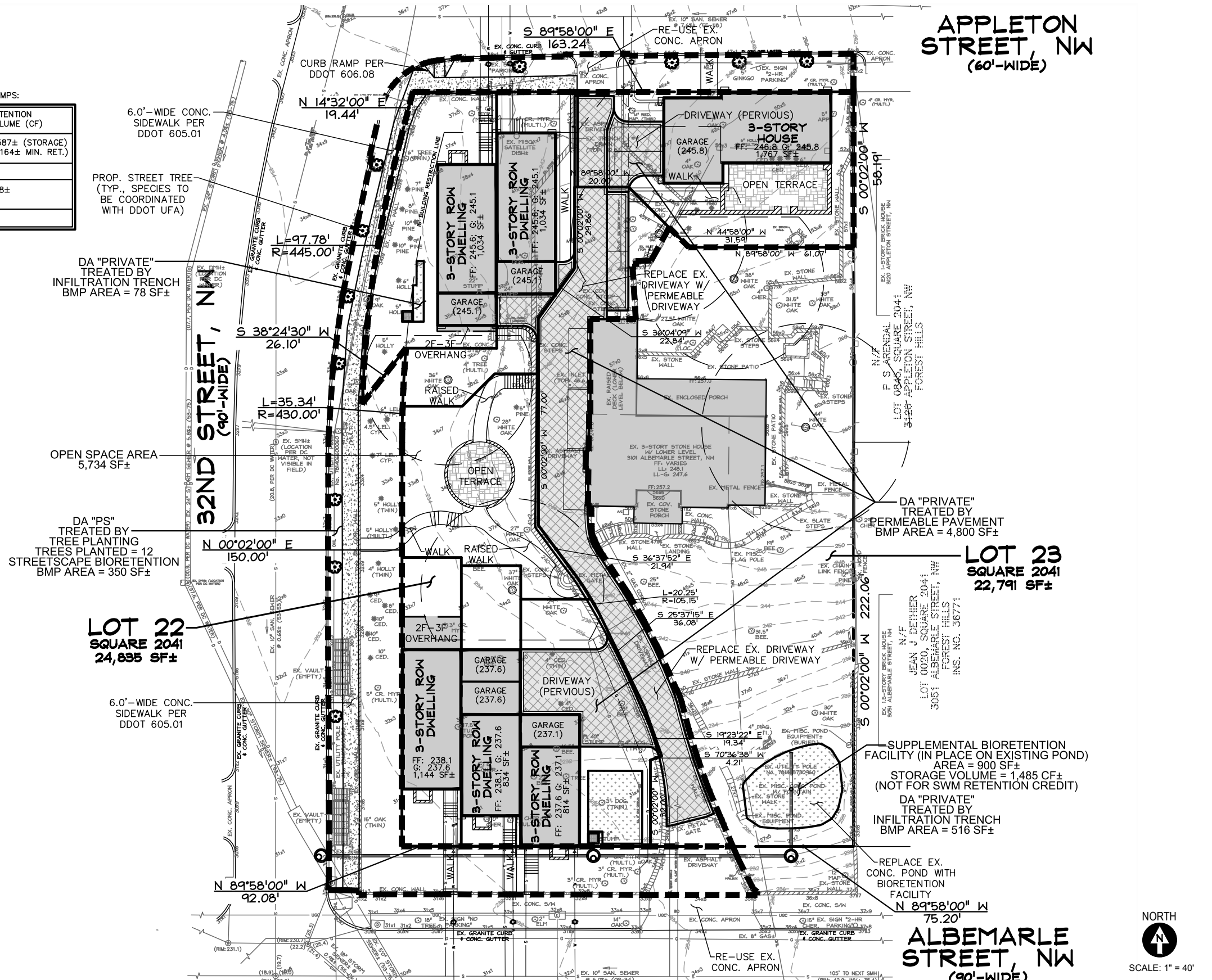
STORMWATER MANAGEMENT FOR THIS PROJECT WILL BE CONCEPTUALLY PROVIDED THROUGH THE FOLLOWING FACILITIES/BMPS:

DRAINAGE AREA	AREA (AC.)	C (ASSUMED)	Q2 (CFS)	Q15 (CFS)	BMP AREA	BMP DESCRIPTION	RETENTION VOLUME (CF)
"PRIVATE"	0.68	0.65	2.34	3.35	5,394±	INFILTRATION TRENCH PERMEABLE PAVEMENT	5,587± (STORAGE) (2,164± MIN. RET.)
EXPANDED BMP DESCRIPTIONS: INFILTRATION TRENCH - 7.0'-DEEP±; PERMEABLE PAVEMENT - 12" RESERVOIR LAYER±							
"PS" (PS)	0.25	0.65	0.85	1.21	350±	BIORETENTION TREE PLANTING	698±
EXPANDED BMP DESCRIPTIONS: BIORETENTION - 36" GROWING, 6" PONDING, 12" DRAINAGE; TREE PLANTING - 12 TREES							

2-YEAR AND 15-YEAR STORM CONTROL REQUIREMENTS FOR THE PROJECT SITE ARE MET GIVEN THE CONCEPTUAL AREAS AND VOLUMES IN THE TABLE ABOVE (SITE IS LOCATED IN HYDROLOGIC SOIL GROUP "A").

CONCEPTUAL STORMWATER MANAGEMENT SIZING PERFORMED UNDER CURRENT DDOE REGULATIONS, EFFECTIVE FOR BUILDING PERMIT SUBMITTALS AFTER 1/14/2014. COMPLETE DETAILS AND DESIGN WILL BE PROVIDED WITH FINAL DESIGN.

APPLICANT RESERVES THE RIGHT TO VARY THE FEATURES, MEANS, AND METHODS OF ACHIEVING THE REQUIRED STORMWATER RETENTION VOLUME AND OTHER REQUIREMENTS UNDER 21 DCMR CHAPTER 5 AND THE 2013 RULE ON STORMWATER MANAGEMENT AND SOIL EROSION AND SEDIMENT CONTROL.



SOAPSTONE VALLEY VENTURES

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WASHINGTON D.C. 20008
SQ : 2041 LOT : 0022, 0023

SUBMISSION:	DRAWING TITLE:	PAGE NUMBER:
	Stormwater Management Plan	C.05
DATE: NOVEMBER 17, 2017		SCALE: 1" = 40"

CONSTRUCTION SEQUENCE

CONTRACTOR TO SECURE ALL NECESSARY PERMITS, AND CONDUCT A PRE-CONSTRUCTION MEETING WITH THE SEDIMENT CONTROL INSPECTOR, (202) 535-2977, PRIOR TO THE START OF CONSTRUCTION OR ANY LAND DISTURBANCE.

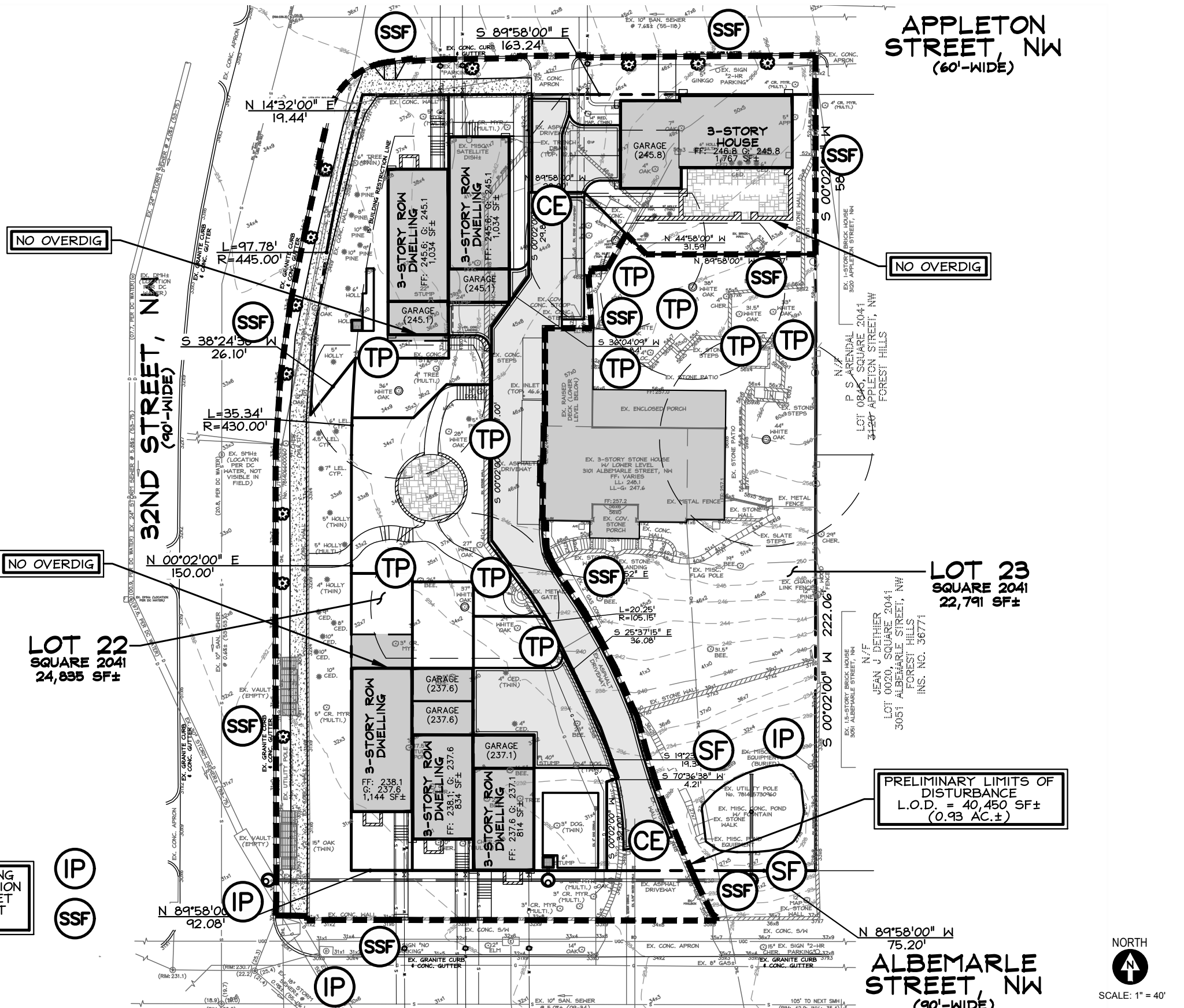
CONSTRUCTION SEQUENCE PENDING, WILL BE DETERMINED DURING FINAL DESIGN.

SEDIMENT CONTROL NARRATIVE, NOTES AND DETAILS




WILL BE PROVIDED IN CONJUNCTION WITH FINAL DESIGN/PERMIT DOCUMENTS. SELECTED DETAILS ARE REFERENCED ON THESE DOCUMENTS FOR SEDIMENT CONTROL FEATURES.

SEDIMENT CONTROL NOTES

- 1) THE CONTRACTOR SHALL CALL THE INSPECTION/ENFORCEMENT BRANCH, WATERSHED PROTECTION DIVISION, DISTRICT DEPARTMENT OF THE ENVIRONMENT AT (202) 535-2977 FOR A PRE-CONSTRUCTION MEETING 72 HOURS PRIOR TO THE START OF ANY LAND DISTURBING ACTIVITY.
- 2) ADDITIONAL LOCATIONS AND TYPES OF EROSION AND SEDIMENT CONTROL MEASURES WILL BE DETERMINED AS DEEMED NECESSARY BY INSPECTORS FROM THE INSPECTION/ENFORCEMENT BRANCH, WATERSHED PROTECTION DIVISION, DISTRICT DEPARTMENT OF THE ENVIRONMENT DURING LAND DISTURBING ACTIVITY.



CONTRACTOR TO PROVIDE SUPER SILT FENCING OR EROSION CONTROL TUBE AROUND EXCAVATION / LIMITS OF DISTURBANCE AND PROVIDE INLET PROTECTION FOR ALL ONSITE AND ADJACENT INLETS (NOT SHOWN DUE TO SCALE)

<p>SOAPSTONE VALLEY VENTURES</p>	<p>CHRISTIAN ZAPATKA ARCHITECT, PLLC 1656 33rd STREET NW WASHINGTON DC 20007 202 333 2735</p>	 <p>CAS Engineering-DC, LLC Attn: David C. Landsman, PE, Prof. LS 1001 Connecticut Avenue, NW, Suite 401 Washington, DC 20036 (202) 393-7200 phone david@cas-dc.com</p>	 <p>DCA Landscape Architects, Inc. 1315 Wisconsin Avenue, NW Washington, D.C. 20007 202/337-1160 (tel.) 202/337-4630 (fax)</p>	<p>3101 ALBEMARLE ST, NW WASHINGTON D.C. 20008 SQ : 2041 LOT : 0022, 0023</p> 	<p>SUBMISSION:</p>	<p>DRAWING TITLE: Erosion and Sediment Control Plan</p>	<p>PAGE NUMBER: C.06</p>
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DATE: NOVEMBER 17, 2017

SCALE: 1" = 40"

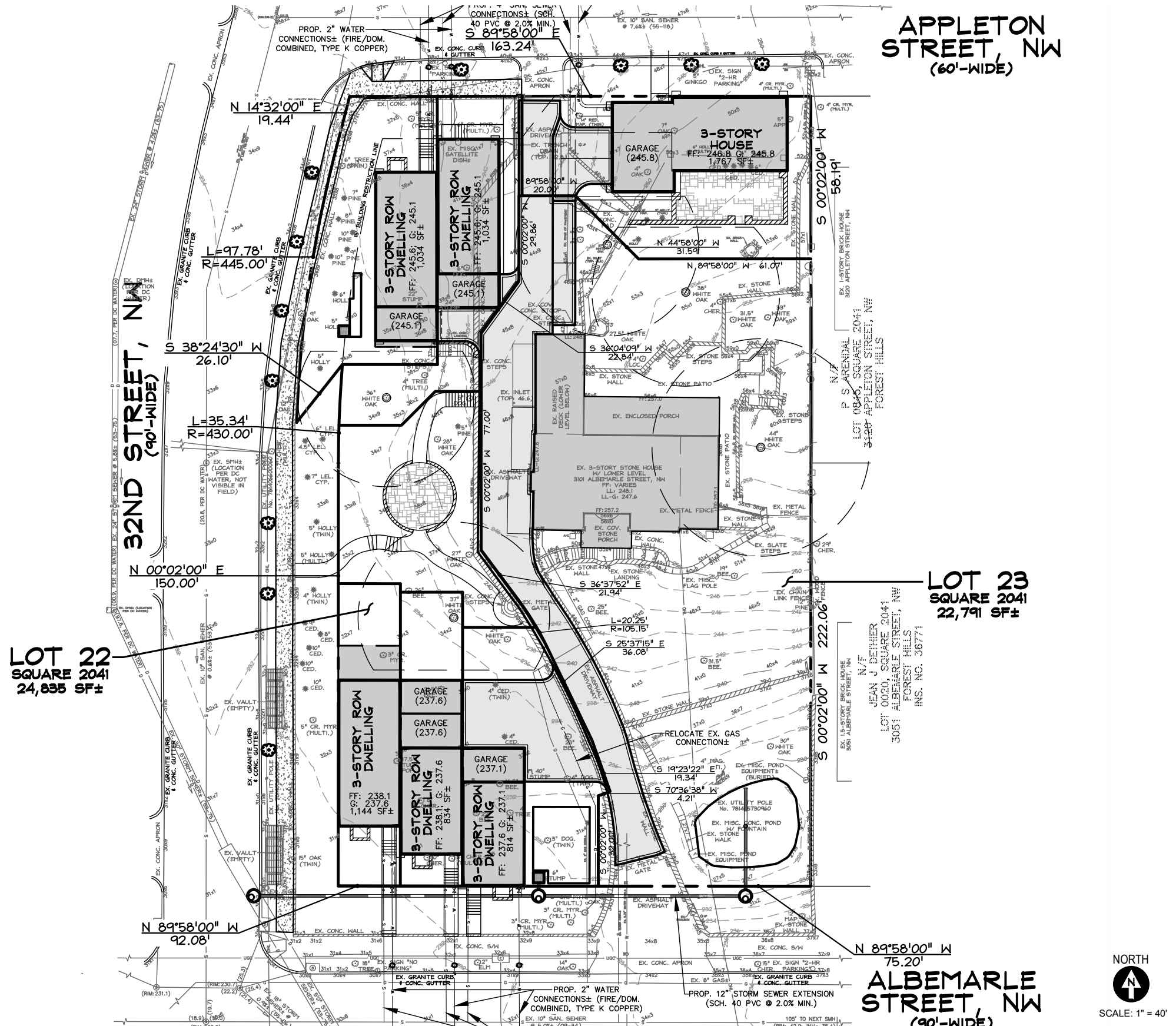
UTILITY PLAN NOTES

- 1) WET UTILITY CONNECTIONS SHOWN ARE PENDING DC WATER REVIEW/COMMENT AND FINAL PLAN DESIGN TO DETERMINE CONNECTION LOCATIONS.
- 2) ONSITE DRAINS ARE PENDING FINAL DESIGN AND WILL TIE TO PRIVATE, ONSITE STORM SYSTEM.
- 3) DRY UTILITIES SHOWN FOR REFERENCE ONLY. TO BE COORDINATED WITH PEPCO, WASHINGTON GAS AND TELECOMMUNICATIONS UTILITIES PRIOR TO FINAL DESIGN BY DRY UTILITIES CONSULTANT.

WATER AND SANITARY SEWER USAGE ESTIMATION

PER DWELLING UNIT (6 PROPOSED)

ESTIMATED WATER AND SANITARY SEWER DEMAND
 = 300 GPD PER UNIT
 SITE ESTIMATED WATER AND SANITARY SEWER DEMAND
 = 1,800 GPD



APPLETON STREET, NW
(60'-WIDE)

32ND STREET, NW
(90'-WIDE)

LOT 22
SQUARE 2041
24,835 SF±

LOT 23
SQUARE 2041
22,791 SF±

ALBEMARLE STREET, NW
(90'-WIDE)



SCALE: 1" = 40"

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						Utility Plan	C.07

DATE: NOVEMBER 17, 2017

SCALE: 1" = 40"